

Planning Justification Report

**Bridgenorth Townhouse Development
949 Eighth Line, Township of Selwyn
County of Peterborough**

Application for Zoning Bylaw Amendment



D.M. Wills Project Number 22-85260

D.M. Wills Associates Limited
Partners in Engineering, Planning and
Environmental Services

Peterborough, Ontario

May 2026

**Prepared for:
1447147 Ontario Inc. c/o Jeff Chesher**



Submissions Summary

Submission No.	Submission Title	Date of Release	Submissions Summary
1	Draft Planning Brief	January 2, 2024	Initial Submission to Client
2	Final Planning Brief	August 29, 2024	Final Submission to Client
3	Planning Justification Brief	October 22, 2024	Submission for Technical Review
4	Draft Planning Justification Report	April 28, 2026	Final Submission to Client for Review
5	Final Planning Justification Report	May 26, 2026	ZBA Submission

This report has been formatted considering the requirements of the Accessibility for Ontarians with Disabilities Act.

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- Appendix A – Record of Pre-Consultation
- Appendix B – Preliminary Building Elevations and Floor Plans

1.0 Introduction

D.M. Wills Associates Limited (Wills) has been retained by Jeff Chesher of 1447147 Ontario Inc., (Owner) to prepare this Planning Justification Report (Report) in support of a multi-residential development on the property located at 949 Eighth Line Smith, also known as County Road 18, in Bridgenorth (Subject Property), otherwise described as Part Lot 13, Concession 7, Smith Ward, in the Township of Selwyn (Township), County of Peterborough (County).

The proposed development benefits from a pre-consultation meeting on May 26, 2021. Please refer to **Appendix A** for the **Record of Pre-Consultation**. The pre-consultation comments identified that a Zoning Bylaw Amendment (ZBA) and Site Plan Application would be required to support the proposed development. Given the 2022 amendments to the Planning Act exempting residential developments of less than 10 units from Site Plan Control, it was confirmed with the Township that only the ZBA is required. Despite the exemption from the application process, a detailed site plan design package was prepared to support the application and reviewed by commenting agencies.

As prepared, this Report is submitted in support of the ZBA application and is intended to fulfill the requirements of the Township, by providing a description of the proposed development and justifying the proposal in the context of the Provincial Planning Statement (PPS), the County of Peterborough Official Plan (COP), and the Township of Selwyn Zoning Bylaw (CZBL).

2.0 Property Description

2.1 Site Location and Existing Development

The subject property is located at 949 Eighth Line in the Village of Bridgenorth, on the south side of Eighth Line, also known as County Road 18. The subject property comprises an area of 1.02 hectares (2.48 acres), with frontage of approximately 61 metres on Eighth Line (County Road 18). Refer to **Figure 1 – Key Map**.

The subject property is currently developed with a single-detached dwelling and an accessory garage that is serviced by a dug well and an individual private on-site septic system. There is a small, grassed area adjacent to the house and garage at the north section of the property. The remaining lands to the south contain vacant lands with vegetated areas around the perimeter of the property.

KEY MAP

Part Lot 13, Concession 7 (Smith)
Township of Selwyn
County of Peterborough

Figure 1



PCS: NAD83 CSRS98 UTM zone 17N Scale: 1:6,144

Data Sources

County of Peterborough Public Online GIS <https://www.ontario.ca/page/open-government-licence-ontario>

Created In:	ArcGIS Pro
Drawn By:	NB
Checked By:	AT
Map Date:	May 26, 2026
Project Number:	85260

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2.2 Surrounding Land Uses

The subject property is located along County Road 18 on the north side of Bridgenorth, surrounded primarily by residential uses and one commercial/industrial business. Across the County Road to the north are several residential lots developed with single-detached dwellings with agricultural fields to the northeast. To the east is a residential plan of subdivision, with primarily single-detached dwellings along Beavis Boulevard. Burley Bus & Truck, a commercial/industrial repair shop, is located to the south and west, beyond which are larger residential lots along Mann Road. To the west is primarily various forms of residential use extending down towards Chemong Lake. There are no environmental features identified on or adjacent to the subject property. Refer to **Figure 2 – Surrounding Land Uses**.

2.3 Proposed Development

The application is seeking to increase the residential density of the subject property to facilitate the development of three townhouses with three dwelling units in each, for a total of nine residential units. The existing dwelling and accessory structures are proposed to be removed and the well and septic system decommissioned. The application proposes to amend the zoning of the subject property from Residential Type 1 (R1) to Residential Type 3 (R3) which permits both triplex dwellings and townhouse dwellings. The proposed townhouses are approximately 417 m² and each one-bedroom unit will have an attached garage. Refer to **Appendix B - Preliminary Building Elevations and Floor Plans**.

Access to the subject property is proposed by a new entrance off County Road 18 (Eighth Line Smith) immediately adjacent to the western property line. Each townhouse block is proposed to have nine parking spaces, providing each unit with three spaces, one internal to the garage, one in front of the garage and one visitor parking adjacent to the driveway.

Services will be provided by three new on-site septic systems and three new drilled wells. Proposed grading will maintain existing drainage patterns wherever possible, enhancing areas where water appears to settle. The proposed townhouses, associated driveway, and parking will be graded so the overall site will drain to the proposed stormwater management (SWM) facility and ultimately the existing sewer outlet. Refer to **Figure 3 – Proposed Site Plan**.

SURROUNDING LAND USES

Part Lot 13, Concession 7 (Smith)
Township of Selwyn
County of Peterborough

Figure 2

Legend
 Subject Property

0 65 130 260
Meters

PCS: NAD83 CSRS98 UTM zone 17N Scale: 1:5,000

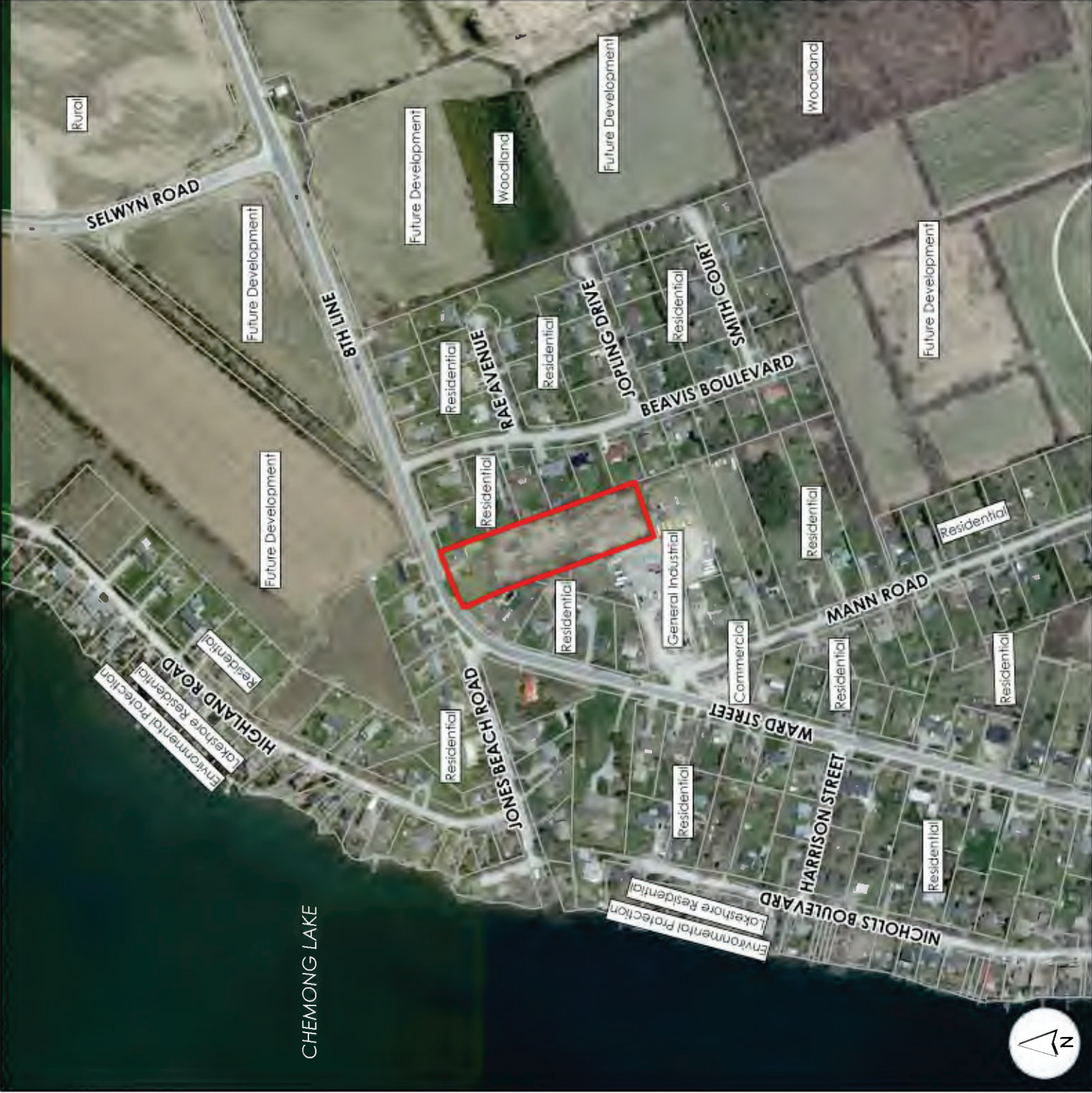
Data Sources

County of Peterborough, New York State, Vanior

Created In:	ArcGIS Pro
Drawn By:	NB
Checked By:	AT
Map Date:	May 26, 2026
Project Number:	85260



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CHEMONG LAKE

PROPOSED SITE PLAN

Part Lot 13, Concession 7 (Smith)
Township of Selwyn
County of Peterborough

Figure 3

LEGEND
TO BE READ IN CONJUNCTION
WITH URS 1001 SERIES

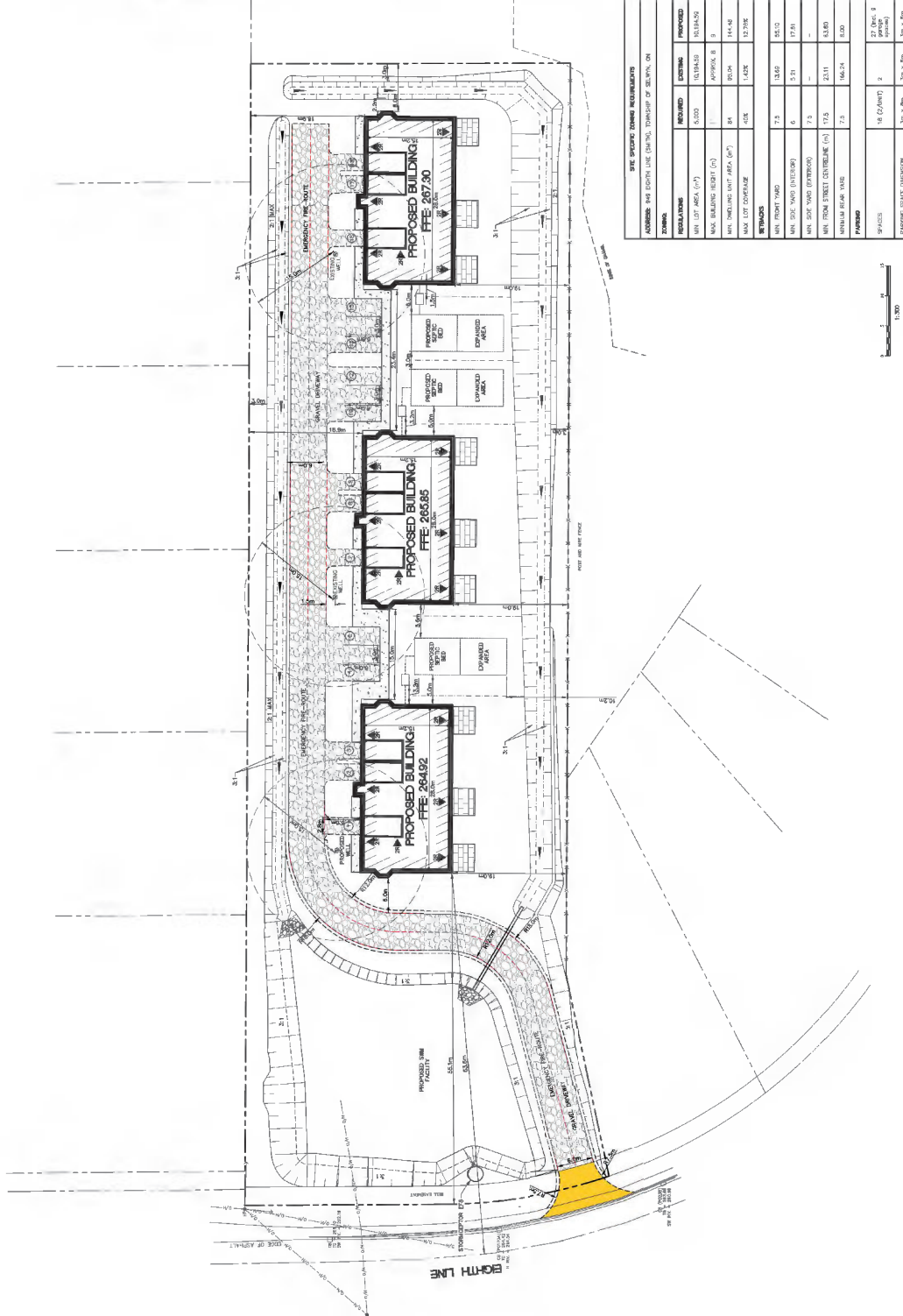
- PR. ASPHALT
- PR. GRAVEL
- PR. CONCRETE
- PR. INTERLOCK
- EX./PR. BUILDING
- EX./PR. EDGE OF PAVEMENT
- EX./PR. CURB
- EX. ROAD CENTERLINE
- EX. EDGE OF SHOULDER
- EX. CATCH BASIN
- EX. STORM SEWER
- PR. DITCH
- PR. CULVERT
- EX. HYDRO POLE
- EX. OVERHEAD HYDRO
- EX. BELL PEDESTAL
- EX./PR. CONTOUR
- EX. FENCE
- R.O.W.
- PROPERTY LINE

**NOT TO SCALE - FOR REFERENCE ONLY

Data Sources
D.M Willis Site Plan

Created In: ArcGIS Pro
Drawn By: NB
Checked by: AT
Map Date: May 26, 2026
Project Number: 85260

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SITE SPECIFIC ZONING REQUIREMENTS
ADDRESS: 348 SOUTH LINE (PART), TOWNSHIP OF SELWYN, ON

ZONING	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA (sqm)	5,000	10,184.50	10,184.50
MIN. BUILDING HEIGHT (m)	-	APPROX. 6	9
MIN. FRONT SETBACK (m)	5M	20.50M	14.42
MIN. LOT COVERAGE	10%	1.42%	12.70%
STREETS			
MIN. STREET WIDTH	7.5	3.00	3.00
MIN. SIDE WALK (LENGTH)	5	3.50	17.81
MIN. SIDE WALK (WIDTH)	7.5	-	-
MIN. FRONT STREET CENTERLINE (m)	17.5	23.11	13.80
MINIMUM REAR YARD	7.5	16.24	8.00
PARKING			
SPACES	14 (2/AVOID)	2	27 (MIN. 6 (OFF-STREET))
PARKING SPACE DIMENSION	2.0 x 5.0m	2.0 x 5.0m	2.0 x 5.0m



3.0 Supporting Technical Studies

As provided in the Record of Pre-Consultation dated May 26, 2021 and more recent staff submission requirement confirmation email on March 26, 2026, the following technical studies were prepared in support of the proposed rezoning of the subject property. A summary of each report is provided below.

3.1 Site Entrance Assessment

A Site Entrance Assessment (SEA) was prepared by D.M. Wills Associates Limited to evaluate the transportation impacts of the proposed townhouse development and the suitability of a new site entrance onto Peterborough County Road 18. The assessment reviewed existing roadway conditions, traffic operations, site access requirements, and anticipated traffic generated by the proposed development. The analysis utilized a conservative trip generation approach based on single detached dwelling units and concluded that the development is expected to generate a very low volume of traffic, resulting in no measurable impact on the operation of County Road 18.

As part of the assessment, a field review was completed to evaluate available sight distance at the existing entrance. The review determined that the existing entrance did not satisfy the visibility requirements established by Peterborough County By-law No. 2012-26 due to sightline obstructions. An alternative entrance location approximately 39.5 metres west of the existing driveway was subsequently identified and confirmed to satisfy the County's visibility requirements for a roadway with a posted speed limit of 50 km/h. The proposed entrance will be designed and constructed in accordance with County standards.

A Site Entrance Assessment Addendum was completed in December 2024 to reflect revisions to the development proposal, increasing the total number of dwelling units from seven to nine. The addendum confirmed that the additional units would result in only a marginal increase in site-generated traffic and that the conclusions of the original assessment remain valid. The proposed development is not anticipated to adversely affect the operation or safety of County Road 18.

The Site Entrance Assessment and subsequent addendum were reviewed on behalf of Peterborough County, with the review concluding that the anticipated site-generated traffic will have a minimal impact on the adjacent roadway network and no additional transportation concerns were identified.

3.2 Stormwater Management Report

A Stormwater Management Report was prepared by D.M. Wills Associates Limited in December 2025 to assess the existing drainage conditions of the site and demonstrate compliance with the stormwater management requirements of the Township of Selwyn and the Otonabee Region Conservation Authority. The report concludes that, although the proposed townhouse development will increase site imperviousness and alter existing drainage patterns, appropriate stormwater management measures have been

incorporated to ensure that post-development runoff does not adversely impact downstream drainage systems.

Stormwater quantity control will be provided through a grassed detention basin with a controlled outlet, which attenuates post-development peak flows to below existing levels for storm events up to and including the 100-year storm. Stormwater quality control will be achieved through a treatment train approach consisting of enhanced grassed swales and an oil-grit separator, providing enhanced water quality treatment prior to discharge to the municipal storm sewer system. The proposed stormwater management system also incorporates Low Impact Development (LID) principles through the use of enhanced grassed swales and vegetated detention facilities.

The proposed 450 mm diameter HDPE culvert was evaluated using HY-8 hydraulic modelling and was confirmed to have sufficient capacity to convey design flows, including the 100-year storm event, without overtopping the roadway. The report further concludes that the proposed erosion and sediment control measures will minimize sediment transport during construction and that, with proper implementation and maintenance, the development can proceed without adversely affecting downstream drainage conditions.

3.3 Hydrogeological Report

A Hydrogeological Report was prepared by D.M. Wills Associates Limited to evaluate groundwater availability, groundwater quality, private sewage servicing feasibility, and subsurface infiltration characteristics in support of the proposed development. The study included a review of local hydrogeological conditions, subsurface investigations, groundwater monitoring, infiltration testing, water quality sampling, pumping tests, and a groundwater impact assessment.

The investigation identified shallow groundwater conditions and silt-rich soils across portions of the property. Based on the findings, recommendations were provided for the design of the proposed Low Impact Development (LID) features and private sewage systems to account for the observed groundwater levels, soil characteristics, and infiltration rates.

Two new water supply wells were installed and subjected to six-hour pumping tests to assess groundwater availability and potential interference with nearby water users. The results confirmed that both wells are capable of supplying water at rates significantly exceeding the anticipated demands of the development and that significant interference with neighbouring wells is not anticipated. The study concluded that groundwater availability is not a limiting factor for the proposed development.

A groundwater impact assessment was completed in accordance with Ministry of the Environment design guidelines to evaluate the suitability of private sewage servicing. The assessment concluded that the subject property could support the proposed sewage systems while maintaining acceptable nitrate concentrations at the downgradient property boundary and protecting groundwater quality in accordance with applicable provincial requirements.

Subsequent addenda were completed to reflect revisions to the proposed development and to update the groundwater availability and impact assessments. The addenda confirmed that the property continues to have sufficient groundwater resources and sewage servicing capacity to support the proposed development.

3.4 Servicing Options Report

A Servicing Options Report was prepared by D.M. Wills Associates Limited, dated May 2026, to assess the feasibility of servicing the proposed development. The townhouse development is proposed to be serviced by three on-site septic systems and three drilled wells. The pump test results for each of the three wells confirmed sufficient water supply for the proposed development. In summary, the report confirmed that the site can be serviced by private wells, private sewage systems, and an on-site stormwater management facility, including measures to ensure that post-development runoff does not adversely impact downstream drainage systems. The report concluded that there are no servicing or grading constraints that would preclude the proposed development.

3.5 Agency Review

The supporting technical studies have been reviewed through the Township's technical circulation process by the applicable review agencies and consultants, including transportation, engineering, and conservation authority reviewers. Comments received through the review process have been addressed to the satisfaction of the reviewing agencies. Peterborough County Engineering and Construction Division provided a final clearance letter dated March 24, 2026, confirming that all engineering comments have been satisfactorily addressed and that no outstanding technical concerns remain regarding the proposed development.

4.0 Policy Framework

The subject property is governed by the following policy and regulatory documents:

1. Provincial Planning Statement, 2024 (PPS)
2. County of Peterborough, 1994 (COP)
3. Township of Selwyn Comprehensive Zoning Bylaw, 2009-021 (CZBL)

4.1 Provincial

4.1.1 Provincial Planning Statement, 2024

The PPS provides policy direction on matters of provincial interest related to land use planning and development. Chapter 3 of the Planning Act requires that decisions affecting planning matters “shall be consistent with” policy statements issued under the Act. In general, the PPS seeks to promote the development of complete communities “that offer and support opportunities for equitable access to many necessities for daily living for people of all ages and abilities, including an appropriate mix of jobs, a full range of housing, transportation options, public service facilities, local stores and services.” Applicable policies of the PPS as they relate to the subject property and proposed development are provided below.

2.2 Housing

1. *Planning authorities shall provide for an appropriate range and mix of housing options and densities to meet projected needs of current and future residents of the regional market area by:*
 - a. *establishing and implementing minimum targets for the provision of housing that is affordable to low and moderate income households, and coordinating land use planning and planning for housing with Service Managers to address the full range of housing options including affordable housing needs;*
 - b. *permitting and facilitating:*
 1. *all housing options required to meet the social, health, economic and wellbeing requirements of current and future residents, including additional needs housing and needs arising from demographic changes and employment opportunities; and*
 2. *all types of residential intensification, including the development and redevelopment of underutilized commercial and institutional sites (e.g., shopping malls and plazas) for residential use, development and introduction of new housing options within previously developed areas, and redevelopment, which results in a net increase in residential units in accordance with policy 2.3.1.3;*

- c. *promoting densities for new housing which efficiently use land, resources, infrastructure and public service facilities, and support the use of active transportation; and*
- d. *requiring transit-supportive development and prioritizing intensification, including potential air rights development, in proximity to transit, including corridors and stations.*

2.3 Settlement Areas

2.3.1 General Policies for Settlement Areas

1. *Settlement areas shall be the focus of growth and development. Within settlement areas, growth should be focused in, where applicable, strategic growth areas, including major transit station areas.*
2. *Land use patterns within settlement areas should be based on densities and a mix of land uses which:*
 - a. *Efficiently use land and resources;*
 - b. *Optimize existing and planned infrastructure and public services facilities;*
 - c. *Support active transportation*
 - d. *Are transit-supportive, as appropriate; and*
3. *Planning authorities shall support general intensification and redevelopment to support the achievement of complete communities, including by planning for a range and mix of housing options and prioritizing planning and investment in the necessary infrastructure and public service facilities.*
4. *Planning authorities shall establish and implement minimum targets for intensification and redevelopment within built-up areas, based on local conditions*

2.4 Strategic Growth Areas

2.4.1 General Policies for Strategic Growth Areas

1. *Planning authorities are encouraged to identify and focus growth and development in strategic growth areas*
2. *To support the achievement of complete communities, a range and mix of housing options, intensification and more mixed-use development, strategic growth areas should be planned:*
 - a. *To accommodate significant population and employment growth;*
 - d. *To support affordable, accessible, and equitable housing.*
3. *Planning authorities should:*
 - a) *Prioritize planning and investment for infrastructure and public service facilities in strategic growth areas;*

- b) *identify the appropriate type and scale of development in strategic growth areas and the transition of built form to adjacent areas;*
- c) *permit development and intensification in strategic growth areas to support the achievement of complete communities and a compact built form;*

4.2 Municipal

4.2.1 County of Peterborough Official Plan, 1994 (Consolidated to 2025)

The County of Peterborough Official Plan (COP) currently in effect sets out the land use and planning framework for lower tier municipalities. The COP reflects the overall vision established by the County as a governing upper tier municipality and approval authority. The COP also functions as the lower tier Official Plan for four of the local municipalities including the Township of Selwyn. The subject property is designated “Hamlet” in the COP and “Residential” on Schedule “A1-2” – Land Use Plan – Urban Component (Village of Bridgenorth). Refer to **Figure 4 – Excerpt from Schedule ‘A1-2’ of the COP**. The land use policies that apply to the subject property and proposed development are summarized below.

It is the goal of the County to provide opportunities for a range of housing by type and density to be built throughout the Country to respond to the varying needs of the permanent population by encouraging provision of affordable housing and variety of housing types and maximize the efficient use of land, buildings, and services consistent with good planning principles (S.5.1).

Section 5.1.3.1 states, in order to create complete communities, make efficient use of infrastructure, promote sustainable alternative modes of transportation, plan walkable communities having a range of housing types, the careful development of greenfield areas is necessary. The County greenfield density target of 40 residents/jobs per hectare will be realized through developments that include a range of housing including singles, semis and multiple dwellings and condominiums. Section 5.1.3.2 encourages residential intensification where servicing, the physical potential of the building stock, and the physical potential of the site(s), are deemed appropriate and suitable for intensification.

According to Section 6.2.3.1, the Hamlet designation refers to existing settlement areas which function as residential and commercial service nodes. They may contain a mix of residential, commercial, small-scale industrial, public and institutional facilities. The Village of Bridgenorth is considered a designated growth centre and development is subject to the Urban Area policies of Section 6.3.

In accordance with Section 6.3.1, the majority of new residential development shall be directed to designated growth centres providing a complete range of land uses including low and medium-density housing, commercial, industrial, institutional and parks/open space uses. Growth within the Bridgenorth community shall be encouraged through the development of existing Residential designated lands in the area (6.3.2).

The predominant use of land within the “Residential” designation shall be detached single-detached dwellings, semi-detached dwellings, multiple dwellings such as triplexes, fourplexes, row-houses and walk-up apartments and a converted dwelling (6.3.2.3(b)).

Section 6.3.2.3 (c)(iii) sets out the following policies that shall apply to multiple dwellings within the Residential area:

- a) *Multiple dwellings shall be located adjacent to an arterial or a collector road or on a local road that connects directly to an arterial or collector road, provided that the local road does not pass through an established residential neighbourhood.*
- b) *A variety of multiple dwelling types shall be dispersed through the neighbourhood to prevent a concentration of any single type of dwelling within a given area.*
- c) *That care shall be taken to ensure that there is a gradual transition in densities between adjacent housing areas and that development will not overshadow or interfere with the view sheds of adjacent areas.*
- d) *Buffer planting for spatial separation shall be provided between groupings of multiple dwelling areas and single-detached areas.*

**EXCERPT FROM SCHEDULE 'A1-2'-
LAND USE PLAN URBAN
COMPONENT VILLAGE OF
BRIDGENORTH**

Part Lot 13, Concession 7 (Smith)
Township of Selwyn
County of Peterborough


Figure 4

Legend


 Subject Property

Land Use Designations

 Commercial

 Provincially Significant Wetland

 Recreation - Open Space

 Residential

 Rural

0 135 270 540
Meters

PCS: NAD83 CSRS98 UTM zone 17N Scale: 1:10,000

Data Sources

County of Peterborough Public Online GIS

Created In: ArcGIS Pro

Drawn By: NB

Checked By: AT

Map Date: May 26, 2026

Project Number: 85260

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4.2.2 Township of Selwyn Comprehensive Zoning Bylaw No. 2009-021

The subject property is currently zoned “Residential Type One” (R1) in the Township of Selwyn Comprehensive Zoning Bylaw 2009-021 (CZBL). Refer to **Figure 5 – Excerpt from Map 2 – CZBL**. The R1 zone only permits single-detached and existing semi-detached, duplex and multi-unit dwellings, as well as related residential accessory uses. Since the townhouses are a new development, a zoning bylaw amendment to Multiple Residential (R3) Zone is required to comply with the provisions summarized below.

Section 3.23.2 of the CZBL states that “*multi-unit residential development including duplex dwellings, semi-detached dwellings, townhouse dwellings, street front townhouse dwellings and apartment dwellings shall only be permitted within areas where municipal water and wastewater services are available, unless it has been demonstrated to the satisfaction of the Township that adequate on-site services are available. Where it has been demonstrated to the satisfaction of the Township that adequate on-site services are available, a site-specific amendment to this By-law shall be required to permit the development.*”

The R3 Zone permits residential uses including a triplex dwelling, fourplex dwelling, townhouse dwelling, street front townhouse dwelling, apartment dwelling and a boarding/lodging house. The proposed development complies with all R3 Zone provisions; however, a special exception zone will be required to permit the private on-site servicing.

Section	Provision	Multiple Residential (R3)	Proposed (R3-XX)
4.11.3.2 (i)	Lot Area (min)	5,000 m ²	10,194.59 m ²
4.11.3.2 (ii)	Building Height (max)	11 m	9 m
4.11.3.2 (iii)	Front Yard (min)	7.5 m	55.10
4.11.3.2 (iv)	Exterior Side Yard (min)	7.5 m	N/A
4.11.3.2 (v)	Interior Side Yard (min)	6 m	17.61 m
4.11.3.2 (vi)	Rear Yard (min)	7.5 m	8.0 m
4.11.3.2 (vii)	Dwelling Unit Area (min)	84 m ²	144.48 m ²
4.11.3.2 (viii)	Lot Coverage (max)	40%	12.76 %
4.11.3.2 (ix)	Street Centreline Setback (Min)	17.5 m	63.6 m
4.11.3.2.1 (i) (ii) (iii)	Spatial Separations between Buildings	6 m – 15 m	15 m
3.29 (a)	Off Street Parking – Residential	18 (2 per unit)	27 (3 per unit)
3.29.1	Parking Space Dimensions	3 m x 6 m	3 m x 6 m
3.35	Planting Strip	3 m wide; 1.5 m high	At least 3 m wide; 1.5 m high

EXCERPT FROM SCHEDULE 'A'
Map 2 OF THE SMITH-
ENNISMORE-LAKEFIELD ZONING
BY-LAW No. 2009-021

Part Lot 13, Concession 7 (Smith)
 Township of Selwyn
 County of Peterborough

Figure 5

Legend



Subject Property

Zoning

- C1 Highway Commercial
- C2 Local Commercial
- D Development
- LR Lakeshore Residential
- R1 Residential Type 1
- M2 General Industrial
- EP Environmental Protection
- RC Recreational Commercial



PCS: NAD83 CSRS98 UTM zone 17N Scale: 1:7,000

Data Sources

County of Peterborough

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5.0 Planning Rationale

The Planning Act requires that decisions be consistent with the Provincial Planning Statement (PPS). The PPS promotes the development of communities that are socially, economically and environmentally resilient. The proposed development is consistent with the PPS and supports several policies including promoting efficient development through accommodating multi-unit housing with the potential to be affordable housing and housing for older persons. The proposed residential development constitutes intensification in an existing built-up area and designated growth area. The development makes efficient use of the land, rounding out the development of an underutilized property and will not create any adverse impacts on surrounding land uses. The increased density is supported by compact building forms, private on-site servicing, connections to municipal stormwater infrastructure, and will be supported by accessible active transportation and potential for future transit.

As herein noted, the Village of Bridgenorth is a designated growth centre in the COP and development is subject to the Urban Area policies. The majority of new residential developments are to be directed to designated growth centres providing a range of land uses including low and medium density housing in existing residential designated lands. The lands are currently designated residential in the Urban Component of the COP which encourages a range of housing types including triplexes and row-houses. The proposed multi-residential development is located on a main collector road and designed to represent a gradual transition to the neighbouring properties, that are primarily developed with single-detached dwellings. Three separate townhouse buildings are proposed, each with three units, to maintain a smaller building form with similar height to a single detached dwelling. Much of the existing landscaping along the property lines is proposed to remain with some additional buffer plantings in key areas to provide adequate spatial separation between single-detached residential areas and the neighbouring industrial use. Therefore, the requested zoning amendment to permit a higher density of units on the property conforms with both the residential and new development policies of the COP.

The current zoning on the property only permits single-detached and existing multi-unit dwellings, and therefore, the proposed residential development requires a zoning bylaw amendment to allow for the construction of three new multi-residential dwellings on the property. The "Multiple Residential (R3) Zone" permits townhouse dwellings where municipal water and wastewater services are available; however, where it has been demonstrated to the satisfaction of the Township that adequate on-site services are available, a site-specific amendment to the bylaw can be supported. The Hydrogeological Report and Servicing Options Report prepared by Wills determined the property can support three private wells and three septic systems required to service the nine residential units. Furthermore, the proposed residential development complies with all the regulations of the R3 Zone including lot area, yard setbacks, lot coverage as well as the general provisions for parking and planning strip requirements. The site-specific amendment will permit private on-site servicing supporting the three townhouse dwellings with a total of nine residential dwelling units.

6.0 Proposed Zoning By-law Amendment

The zoning bylaw amendment proposes to amend the zoning of the subject property from Residential Type One (R1) Zone to a site-specific Multiple Residential (R3) Zone to permit the proposed development of three townhouses, with nine residential dwelling units to be serviced by three private wells and 3 private septic systems.

1. That Schedule “A” Map 2 of By-law No. 2009-021, as amended, is amended by re-zoning the subject lands located in Part Lot 13, Concession 7, in the Smith Ward from the Residential One (R1) Zone as illustrated on Schedule “A” attached hereto and by this reference forming part of this By-law.
2. That the following Site Specific Exception Zone be added to Schedule B of Bylaw No. 2009-021:

Multiple Residential Exception XX (R3-XX) Zone
949 Eighth Line (Smith Ward)

- i. The proposed multi-residential development is permitted to be serviced on private water and sewage servicing in compliance with the Servicing Options Report and a Hydrogeological Assessment prepared in support of the development.
- ii. All other relevant provisions of By-law 2009-021, as amended, shall apply.

The Proposed Schedule Amendment to the Township of Selwyn Comprehensive Zoning By-law is illustrated in **Figure 6**.

ZONING BY-LAW AMENDMENT

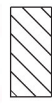
Part Lot 13, Concession 7 (Smith)
Township of Selwyn
County of Peterborough

Figure 6

Legend



Subject Property



Lands to be rezoned from
"Residential Type 1 (R1) zone
to "Residential Type 3
Exception xx (R3-XX) Zone



PCS: NAD83 CSRS98 UTM zone 17N Scale: 1:7,000

Data Sources

Township of Selwyn Zoning By-Law 2009-021

Created In: ArcGIS Pro

Drawn By: NB

Checked by: AT

Map Date: May 26, 2026

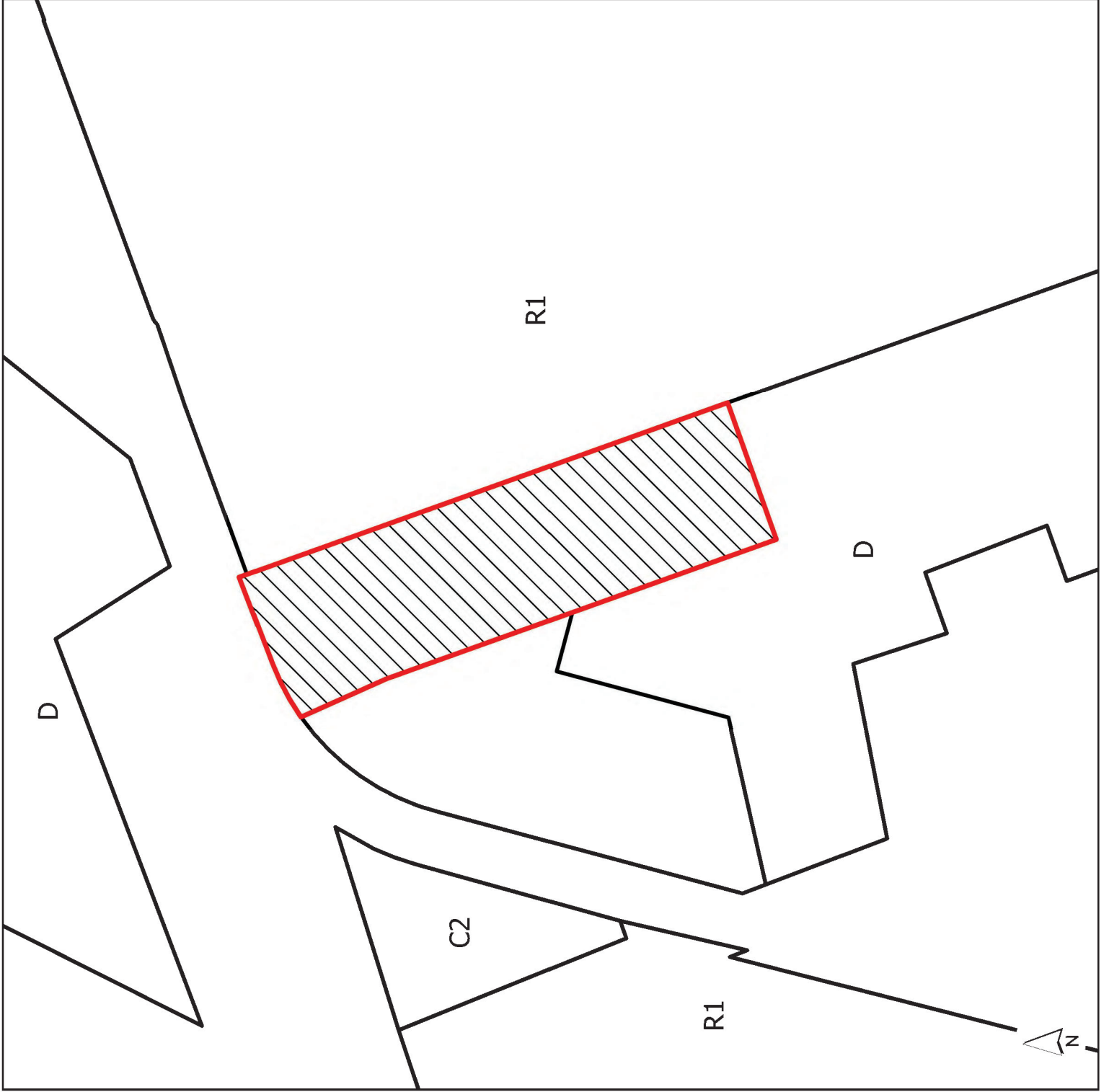
Project Number: 85260



WILLS

D.M. Willis Associates Limited
150 Jameson Drive
Peterborough, Ontario
K9J 0B9

P: 705.742.2297
F: 705.748.9944
E: wills@dmwillis.com
Copyright D.M. Willis 2022



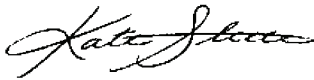
7.0 Closing

This Report has been prepared in support of the Zoning Bylaw Amendment to permit a multi-residential development on the subject property. The report provides an analysis of the applicable provincial and municipal policy documents in the context of the proposed application.

The proposal to redevelop an otherwise under-utilized property through the intensification of the current residential use contributes to growth targets and housing objectives of the local municipality, County and Province. It is our opinion that the proposed development is considered compatible with surrounding land uses and can be sustained by private on-site servicing. Although the proposed development is exempt from Site Plan Approval, detailed design and engineering was completed to demonstrate the property can support the proposed development.

Further, based on the foregoing review of the relevant policies, it is our opinion that the proposed multi-residential development on the Subject Property is consistent with and conforms to provincial and municipal policies and constitutes good planning.

Respectfully submitted,



Kate Steele, M.Pl.
Junior Land Use Planner



Amanda Timmermans, B.A.H.
Senior Land Use Planner

KS/AT/jh

Appendix A

Record of Pre-Consultation





Mailing Address
 PO Box 270 Bridgenorth
 Ontario K0L 1H0

Tel: 705 292 9507
 Fax: 705 292 8964

www.selwyntownship.ca

Record of Pre-Consultation

Prepared by Township of
 Selwyn Planning Department

Name: 1447147 Ontario Inc.		Agent: J. Laurie Young
Pt. Lot 13	Concession: 7	Ward: Smith
Roll No.: 1516.020.202.2230		

Municipal Address: 949 8 th Line		
Phone: 705-743-4913	Alt. Phone:	Email: robyn@queensinc.ca
Communication to be sent to	Owner: X	Agent: X

Meeting Date:	May 26, 2021
Meeting Location:	Via Zoom
Attendees:	J. Laurie Young Robert Lamarre Don Allin Jeff Chesher Alisha Newton
Regrets:	Kathleen Shepherd

Existing Parcel Description	
County Official Plan Designation	Settlement Area
Local Component Official Plan Designation	Residential
Municipal Zoning	Residential Type 1
Area/Lot Dimensions	2.49 acres with 200 feet frontage
Existing Use/Buildings	Dwelling, accessory building

Pre-Consultation Completed for:

- Plan of Subdivision (*Application submitted to County*)
- Plan of Condominium (*Application submitted to County*)
- Official Plan Amendment for:
 - County Official Plan (*Application submitted to County*)

Local Component of County Official Plan (*Application submitted to County*)

Zoning By-law Amendment (*Application submitted to Township*)

Site Plan Application (*Application submitted to Township*)

Proposal Summary/Description:

The proposal includes retaining the existing dwelling and detached garage and constructing 2 - 3 unit townhouse buildings serviced by their own wells and septic systems. These buildings are for rental accommodation.

Discussion:

A site plan was provided for discussion purposes and illustrates the location of the existing residential structure and detached garage as well as the proposed 3 unit townhouses, parking and individual well and septic systems.

The subject parcel is a designated settlement area (County Official Plan) and is further designated residential in the local component of the plan. The proposal is consistent with the relevant policies subject to confirming the appropriate density through hydrogeologic and solis analysis.

The subject lands are zoned Residential Type 1 (R1) does not permit the housing form or density. A zoning by-law amendment will be required.

A stormwater management brief is required to ensure quantity and quality control.

The subject lands front onto County Road 18. The County of Peterborough is the road authority as it relates to County Road 18. Their Engineering & Design Department indicated the requirement for a Site Entrance Assessment as per the Traffic impact assessment guidelines

In addition, they advised that the entrance will have to be paved given that it will meet the definition of a “high volume access”.

The County will also review the stormwater management brief.

A servicing option report will be required which is to address the hydrogeologic capacity of the property, the storage of water for firefighting purposes and soil capacity to manage the sewage generated on the property. Mr. Chesher indicated that the figure will be below the 10,000 litre threshold.

The Conservation authority did not note any environmental features that would impact the development of the property. They will be reviewing the storm water management report.

- **Stormwater Management Brief** – to show how stormwater will be managed and demonstrate post-development flows will not adversely impact the characteristics of the area. The brief will be reviewed by ORCA and Peterborough County.
-

- **Site Entrance Assessment (SEA)**– please refer to the County for additional details related to the scope of the required assessment. SEA to be reviewed by Peterborough County.

***Fees:**

Township fees:

Zoning By-law Amendment - residential Major \$2,162.68

Site Plan Major Application - \$2,162.68

Deposit - \$3,784.74 (unused funds will be returned)

ORCA - \$1,100.00

**Please note fees increase annually.*

Other applicable fees should be confirmed through staff at the County of Peterborough and the Conservation Authority.

Attachments:

Site Plan Approval Guidelines. https://www.selwyntownship.ca/en/township-hall/resources/Building_Planning/2021/SitePlanGuideline2021.pdf

Site Plan Approval application. https://www.selwyntownship.ca/en/township-hall/resources/Building_Planning/2021/SitePlanApplication2021.pdf

Zoning By-law amendment Guidelines. https://www.selwyntownship.ca/en/township-hall/resources/Building_Planning/2021/ZoningBy-lawGuidelines2021.pdf

Zoning By-law amendment application https://www.selwyntownship.ca/en/township-hall/resources/Building_Planning/2021/ZoningBy-lawAmendmentApplication2021.pdf

I have attached a copy of the Township's Pre-consultation agreement which we would aks you to sign and return.

Record Completed By: Robert Lamarre

Please Note: Personal information contained on this form is collected under the authority of Section 29(2) of the Municipal Freedom of Information and Protection of Privacy Act, R.S.O. 1990, c.M.56 as amended and will be used to assist in the correct processing of this application. If you have any questions about the collection, use or disclosure of this information by the Township of Selwyn, please contact the CAO or Clerk, Township of Selwyn, P.O. Box 270, Bridgenorth, ON K0L 1H0 (705) 292-9507.

Appendix B

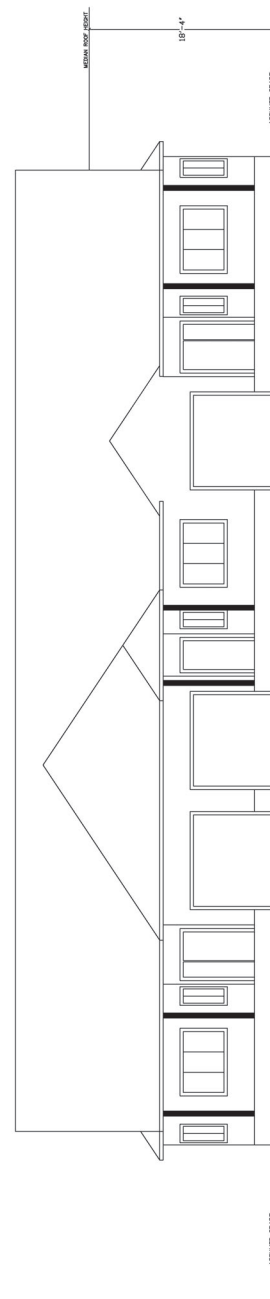
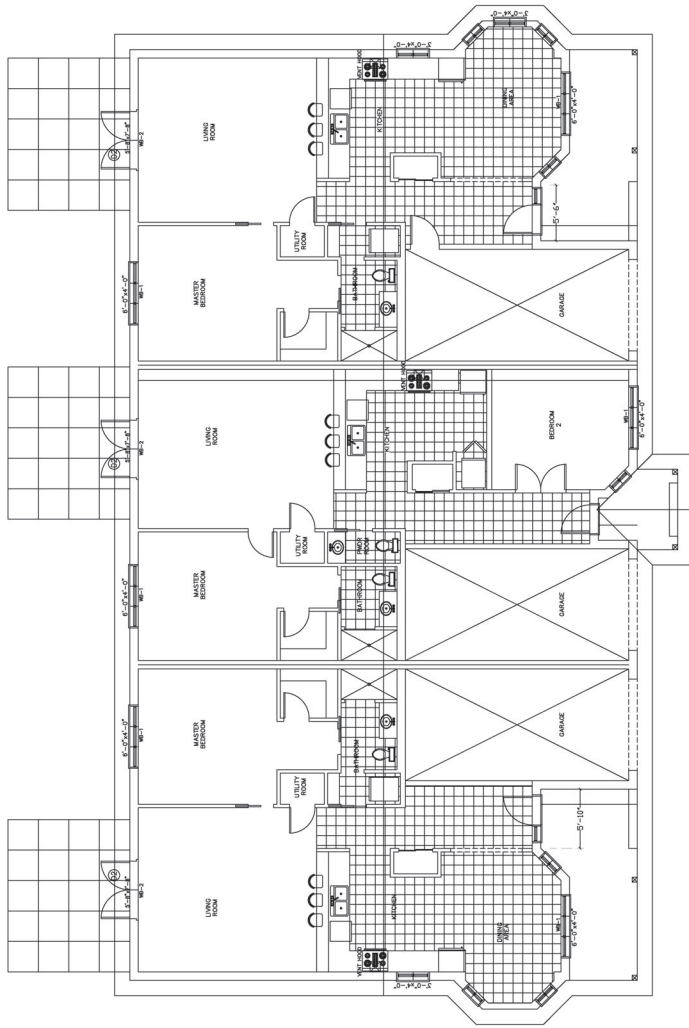
Preliminary Building Elevations and Floor Plans



MULTI FAMILY UNIT

NOTE
 ALL TRUSSES, BEAMS, FLOOR JOISTS AND
 TO BE DESIGNED WITH ROOF LOAD OF 2.1
 KSL

NOTE
 IT IS THE CONTRACTOR'S RESPONSIBILITY TO:
 - VERIFY AND CHECK ALL DIMENSIONS PRIOR
 TO CONSTRUCTION.
 - VERIFY AND CHECK THE DIMENSIONS OF
 ALL MATERIALS.
 - DETERMINE LOCATIONS OF SERVICES



Drawn By: CARLO PIRILLO
 Scale: NTS
 Date: Aug 31, 2022
 Project: CHESHER05

Title: MULTI FAMILY UNIT -CONCEPT DRAWING
 Description:
 LAYOUT & FRONT ELEVATION

Designed By: Carlo Pirillo
 BCIN: 118814

D1 of 1

Client Details: Jeff Cheshier
 375 Lakehurst Rd
 Lakehurst, On
 K0L 1J0

R Y R
 RYR CUSTOM DESIGNS
 Carlo Pirillo - (416) 300-6012
 BCIN 120550
 pirillo@gmail.com