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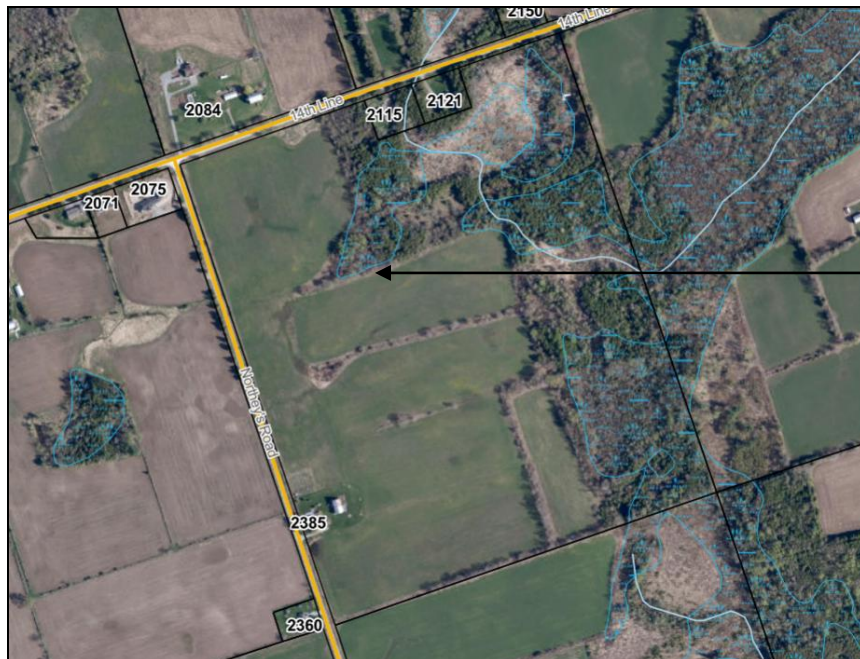


Planning Justification Report (April 27, 2026) – Zoning By-law Amendment Application 2385 Northey’s Road, Township of Selwyn County of Peterborough

Introduction

This Planning Justification Report (PJR) has been prepared in support of a Zoning By-law Amendment (ZBLA) Application filed with the Township of Selwyn Planning Department regarding the agricultural/farm property known municipally as 2385 Northey’s Bay Road (Legally as Part Lot 28, Concession 13 – Smith Ward).

The Property



The Property

(Source: County of Peterborough Website, April 2026)

The property is located on the east side of Northey’s Bay Road and is currently used for agricultural purposes. As developed, the property contains a single-unit dwelling, barn and associated accessory buildings. The east part of the property forms part of a wetland complex.

The ZBLA Application

The ZBLA Application is required to permit a detached additional dwelling unit (ADU), containing a full basement within the front yard portion of the property. Accordingly, a site specific By-law Exception would be needed to be applied to the A – Agricultural zone portion of the property to address the forgoing.

Pre-Consultation

The ZBLA Application was subject of a formal Pre-Consultation Meeting held March 18, 2026 (see Attachment 'G' for details).

Analysis

2024 Provincial Planning Statement (2024 PPS)

With respect to the Zoning By-law Amendment Application, the following policies of the 2024 PPS are considered to have direct relevancy:

Policy	Title, Details, Planning Opinion
	<p>How to Read the Provincial Planning Statement</p> <p>The provincial policy-led planning system recognizes and addresses the complex inter-relationships among environmental, economic, health and social factors in land use planning. The Provincial Planning Statement supports a comprehensive, integrated and long-term approach to planning, and recognizes linkages among policy areas.</p> <p>The Provincial Planning Statement is more than a set of individual policies. It is to be read in its entirety and the relevant policies are to be applied to each situation. When more than one policy is relevant, a decision-maker should consider all of the relevant policies to understand how they work together. The language of each policy, including the Implementation and Interpretation policies, will assist decision-makers in understanding how the policies are to be implemented.</p> <p>Planning Opinion: I have read the entire 2024 PPS as it would pertain to the ZBLA Application.</p>
2.1	Planning for People and Homes 3. At the time of creating a new official plan and each official plan

	<p>update, sufficient land shall be made available to accommodate an appropriate range and mix of land uses to meet projected needs for a time horizon of at least 20 years, but not more than 30 years, informed by provincial guidance. Planning for <i>infrastructure, public service facilities, strategic growth areas</i> and <i>employment areas</i> may extend beyond this time horizon.</p>
2.3	Settlement Areas and Settlement Area Boundary Expansions
2.3.1	<p>General Policies for Settlement Areas</p> <p>1. Settlement areas shall be the focus of growth and development. Within settlement areas, growth should be focused in, where applicable, strategic growth areas, including major transit station areas.</p> <p>Opinion: The property does not form part of a designated settlement area.</p>
2.5	<p>Rural Areas in Municipalities</p> <p>1. Health, integrated and viable <i>rural areas</i> should be supported by:</p> <ul style="list-style-type: none"> a) building upon rural character, and leveraging rural amenities and assets; d) using rural <i>infrastructure</i> and <i>public service facilities</i> efficiently; g) conserving biodiversity and considering the ecological benefits provided by nature; <p>Planning Opinion: The proposed Additional Dwelling Unit (ADU) does not detract from the area rural character and can efficiently utilize existing rural infrastructure and public service facilities.</p> <p>The property does not form part of a designated rural settlement area.</p> <p>2. In rural areas, rural settlement areas shall be the focus of growth and development and their vitality and regeneration shall be promoted.</p>
2.6	Rural Lands in Municipalities

	<p>1. On rural lands located in municipalities, permitted uses are:</p> <p>b) residential development, including lot creation, where site conditions are suitable for the provision of appropriate sewage and water services;</p> <p>Planning Opinion: The ADU will be service by private water and waste-water facilities.</p> <p>2. Development that can be sustained by rural service levels should be promoted.</p>
4.3	Agriculture
4.3.1	<p>General Policies for Agriculture</p> <p>1. <i>Specialty crop areas</i> shall be given the highest priority for protection, followed by Canada Land Inventory Class 1, 2, and 3 lands, and any associated Class 4 through 7 lands within the <i>prime agricultural area</i>, in this order of priority.</p> <p>Planning Opinion: The proposed ADU will not impact the existing agricultural/farm operation, nor area agricultural land uses/operations.</p>
4.3.2	<p>Permitted Uses</p> <p>1. In <i>prime agricultural areas</i>, permitted uses and activities are: <i>agricultural uses, agriculture-related uses</i> and <i>on-farm diversified uses</i> based on provincial guidance.</p> <p>Proposed <i>agriculture-related uses</i> and <i>on-farm diversified uses</i> shall be compatible with, and shall not hinder, surrounding agricultural operations. Criteria for these uses may be based on provincial guidance or municipal approaches, as set out in municipal planning documents, which achieve the same objectives.</p> <p>5. Where a residential dwelling is permitted on a lot in a prime agricultural area, up to two additional residential units shall be permitted in accordance with provincial guidance, provided that, where two additional residential units are proposed, at least one of these additional residential units is located within or attached to the principal</p>

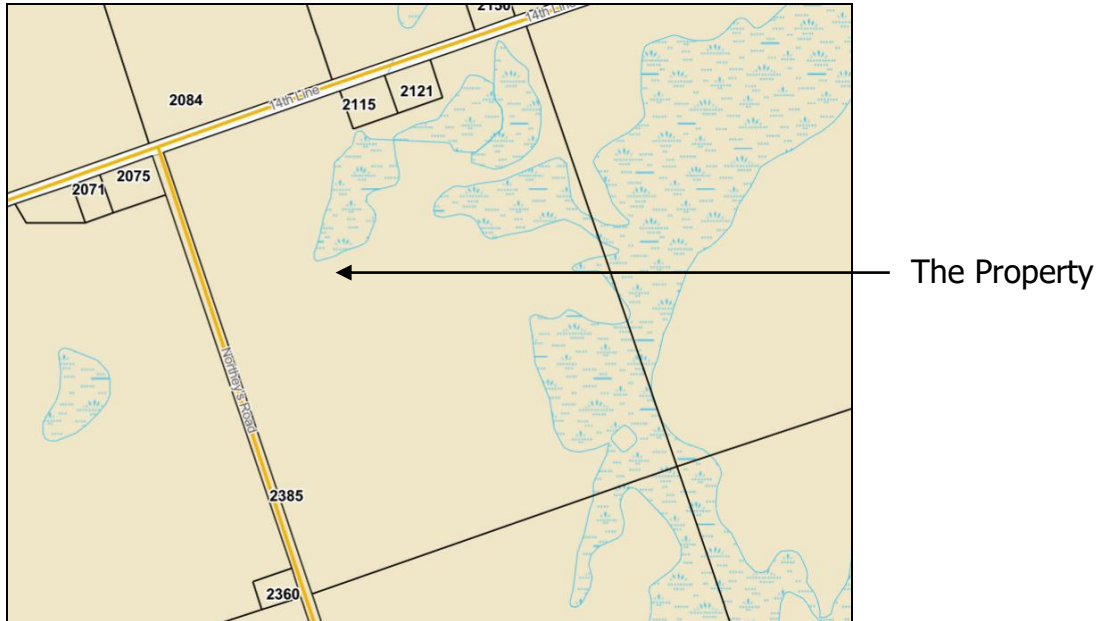
	<p>dwelling, and any additional residential units:</p> <ul style="list-style-type: none">a) comply with the minimum distance separation formulae;b) are compatible with, and would not hinder, surrounding agricultural operations;c) have appropriate sewage and water services;d) address any public health and safety concerns;e) are of limited scale and are located within, attached, or in close proximity to the principal dwelling or farm building cluster; andf) minimize land taken out of agricultural production. <p>Planning Opinion: The proposed ADU will be supported by its own private water and waste-water facilities. The location of the ADU will not hinder on-site and/or area agricultural operations. Finally, the proposed second dwelling unit is located an appropriate distance from the principle dwelling.</p>
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It is my professional opinion that the Zoning By-law Amendment Application is conformity with the policy directives of the 2024 Provincial Planning Statement, including Section 4.3 (Agriculture).

County of Peterborough Official Plan

The property is designated as "Prime Agriculture" by the COP.

Official Plan Map Schedule - Detail



(Source: County of Peterborough Website, April 2026)

For purposes of this PJR, I employed the July 2022 version of the COP.

Relative to the ZBLA Application, the following policies of the COP are considered to have direct relevancy:

Section	Title, Details and Opinions
6.0	Local Plan Policies – Land Use
6.1	<p>General</p> <p>The County Plan functions as the lower tier Official Plan for the following participating local municipalities: Township of Selwyn</p> <p>The above municipalities have chosen to incorporate their local municipal official plans into the County Plan. The other local municipalities in the County maintain separate, freestanding planning documents.</p> <p>Local municipal official plans complement the Peterborough County</p>

	<p>Official Plan by providing detailed strategies, policies and land use designations for planning and development at the local municipal level. Section 6 and Section 7 of the County Plan contain the local municipal planning policies applicable to the above-named Townships and should be read in conjunction with other sections of the Plan.</p> <p>One set of common land use policies have been developed for the Rural Components of the participating municipalities while existing secondary plans have been retained for the Urban Components. Also where deemed necessary, site and/or area-specific planning policies have been developed to address particular local planning issues.</p>
<p>6.2</p>	<p>Local Planning Policies – Rural Component</p> <p>The Rural Component is devoted to economic activities associated with the natural resources in the participating Townships. The Rural Component policies are intended to protect the character of these areas while making provision for economic activities and employment opportunities which depend on the natural resources.</p> <p>The Rural Component comprises the following areas:</p> <ul style="list-style-type: none"> - Prime agricultural areas <p>Planning Opinion: The property is designated as “Prime Agriculture” – Schedule A1 – Township of Selwyn Land Use Plan (Rural Component).</p>
<p>6.2.1 6.2.1.1</p>	<p>Prime Agriculture</p> <p>General Principles</p> <p>The Prime Agriculture designation applies to areas where Class 1, 2 and 3 lands under the Canada Land Inventory Soil Capability for Agriculture or specialty crop land predominate. These areas shall be protected for agricultural uses from incompatible, non-agricultural development. Small scale farm related commercial/industrial uses shall be permitted provided that they are directly related to the farm operation and are in close proximity to the farm operation.</p> <p>Planning Opinion: The property is currently used for</p>

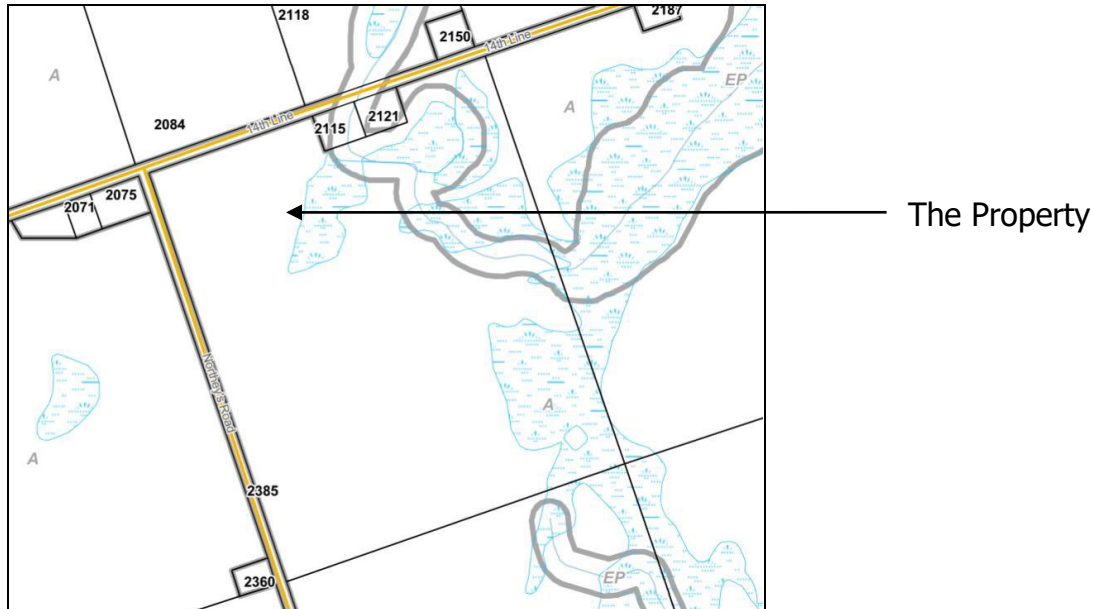
	agricultural/farm purposes.
6.2.1.2	<p>Permitted Uses</p> <p>The predominant use of land within the Prime Agriculture designation shall be agriculture, farm related activities, and forestry.</p> <p>Farm related residential development as defined by the policies in Section 6.2.1.3 shall be permitted.</p> <p>Planning Opinion: An ADU is proposed of which same requires the Township approval of a ZBLA Application.</p>
6.2.1.3	<p>Prime Agriculture Policies</p> <p>a) It shall be a policy of this Plan to discourage the development of non-rural related uses within the Prime Agriculture designation and to prevent uncontrolled and scattered development. This leads to an unnecessary fragmentation of the land base and in particular, farmland. Non-rural growth related uses shall be encouraged to locate within the designated growth centres and hamlet areas identified on the land use schedules.</p> <p>b) Minimum Distance Separation New livestock operations shall only be established in accordance with the Minimum Distance separation requirements of the Provincial Policy Statement. New development shall only be established in accordance with the Minimum Distance Separation requirements of the Provincial Policy Statement in order to protect farm operations from encroachment and to allow for the future flexibility and expansion of existing farm operations</p> <p>c) One single-detached dwelling will generally be permitted on a farm.</p> <p>Planning Opinion: The policies of COP, in this instance do not specifically speak to ADU opportunity. Whereas, the Township ZBL has regulatory provisions permitting same.</p> <p>No new lot is being proposed. The placement – location of the proposed ADU will not impact the current agriculture/farm operation, nor area agricultural/farm operations.</p>

In summary, it is my professional planning opinion that the ZBLA Application is in keeping with the general purpose and intent of the policies of the COP.

Township of Selwyn Zoning By-law (Zoning By-law)

The property is currently zoned 'A – Agriculture and EP – Environmental Protection'.

Zoning Map Detail



(Source: County of Peterborough Website, April 2026)

The proposed second dwelling unit will be located on the portion of the property zoned A – Agriculture.

Section 3.41 (Second Units) of the TZBL speaks to ADU opportunity. Relative to a property zoned A – Agriculture, there are specific regulatory requirements above and beyond the standard provisions of Section 3.41.

The ZBLA Application seeks to amend Section 3.41 of the TZBL, as follows:

Regulation (g)

- i. Second Dwelling Units be located no further than 30 metres from the principle dwelling.

The ZBLA seeks to permit a 98.3 metres separation distance. The increased setback is reasonable/appropriate in this instance given the scale – size of

property. It also provides for more meaningful separation from the existing main farm dwelling.

- ii. Second Dwellings shall not be situated in the front or exterior side yard.

It would be inappropriate to locate the proposed second dwelling to the rear of the main farm dwelling. Such location would be disruptive to current farm operations.

The scale – massing and location of the proposed Second Dwelling Unit will not dominate the existing farm dwelling. Given the area of this farm property and its context with surrounding land uses, the modest increase in the proportionate percentage of building footprint area is not unreasonable nor inappropriate.

Proposed By-law Exception

A By-law Exception is recommended to be added to the A – Agriculture zoning of the property, summarized as follows:

Notwithstanding the provisions of Section 3.41 (Second Units), a second unit shall be permitted subject to the following:

- A) Be located no further than 98.3 metres from the existing principle dwelling; and
- B) Be located within the front yard part of the property, specifically 98.3 metres in front of the existing principle dwelling.

All other regulatory provisions of Section 2.41 shall otherwise apply.

It is my professional planning opinion that the ZBLA Application is in keeping with the general purpose and intent of the regulatory provisions of the Township of Selwyn Zoning By-law.

Summary

In summary, it is my Professional Planning Opinion that the Zoning By-law Amendment Application is:

- Consistent with policy directives of the 2024 Provincial Planning Statement;
- In Conformity with the general purpose and intent of the land use designations and policies of the July 2022 County of Peterborough Official Plan, including Section 6.2.1 (Prime Agriculture);
- In Keeping with the general purpose and intent of the regulatory provisions of the Township of Selwyn Zoning By-law, including Section 3.41 (Second Units); and
- **Representative of Good Planning.**

Respectfully Submitted,



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Site-Area Photographs 2385 Northeys Road, Selwyn



Existing dwelling



Existing dwelling – South-west view

Site-Area Photographs
2385 Northeys Road, Selwyn



North side yard – West view



Farm fields – North view

Site-Area Photographs
2385 Northeys Road, Selwyn



Farm fields – North-east view



Existing barn – East view

Site-Area Photographs
2385 Northeys Road, Selwyn



Existing barn and parking



Existing barn – East view

Site-Area Photographs
2385 Northeys Road, Selwyn



Farm fields – East view



Farm fields – South-east view

Site-Area Photographs

2385 Northeys Road, Selwyn



Existing dwelling - parking



Entrance from Northeys Road

Site-Area Photographs
2385 Northeys Road, Selwyn



Northeys Road – North view



Northeys Road – South view